



**DEPARTMENT OF BUILDING
UNIVERSITI TEKNOLOGI MARA
(PERAK)**

**INFRASTRUCTURAL AUTHORITY SUBMISSION FOR
MULTIPURPOSE HALL AT BANDAR BARU PERMAS, JOHOR
BAHRU, ACCORDING TO ACT 133, MSMA2, MS1228:1991,
MWA & SPAN**

Prepared by:

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DEPARTMENT OF BUILDING
FACULTY OF ARCHITECTURE, PLANNING AND SURVEYING
UNIVERSITI TEKNOLOGI MARA
(PERAK)

JANUARY 2022

It is recommended that the report of this practical training provided

By

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entitled

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HALL AT BANDAR BARU PERMAS, JOHOR BAHRU, ACCORDING TO
ACT 133, MSMA2, MS1228:1991, MWA & SPAN**

be accepted in partial fulfillment of requirement has for obtaining Diploma in Building.

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STUDENT'S DECLARATION

I hereby declare that this report is my own work, except for extract and summaries for which the original references stated herein, prepared during a practical training session that I underwent at AK Consult for duration of 20 weeks starting from 23 August 2021 and ended on 7 January 2021. It is submitted as one of the prerequisite requirements of BGN310 and accepted as a partial fulfillment of the requirements for obtaining the Diploma in Building.

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I would like to thank to amazing team and worker of AK Consult, En Muhammad Amirul Asyraf as civil and structural engineer of the company and also my supervisor during performing my industrial training, En Muhd Hafizul Deraman as senior engineer, Pn Aida Nur Mansor and Pn Noraini Md Noor as admin of the company and also Miss Nur Sabrina Sazali, assistant engineer of AK consult. With their help I have able to learn new things during my 20 weeks of training. In my first week in AK Consult, I own to learn about design software such as ESTEEM for structural design and MES for infrastructural design, drainage, road include on-site detention pond. They also guide me in writing reports and designs in AutoCAD for projects submission. I also get opportunity to cooperate and liaison with authorities and client on some on-going projects such as multipurpose hall project in Permas Jaya, Johor and low-cost housing project in Port Dickson, Negeri Sembilan.

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Last but not least, special thanks to my beloved parents for their sacrifices and support for me over the years.

ABSTRACT

Permas Jaya, with the official name of Bandar Baru Permas Jaya, is a suburb in Johor Bahru, Johor, Malaysia. The population of Permas Jaya is about 40,000 to 45,000 residents (*Permas Jaya Data Population record, 2019*). Permas Jaya has been develop in 2012 until present. In 2017, Permas jaya has been approve to provide a multipurpose hall for public facilities on lot 185530 Mukim Plentong, Masai, Johor. Multipurpose Hall is one of an important building in residential area as it can stand for various function in community nearby in opinion of event and activities, such as indoor sport activities, wedding and also meeting to occupant nearby. This project had been awarded to AK Consult to fulfil the consultation of design infrastructure facilities. Infrastructure works can be including such as road work, drainage work and sewerage work. There are many stages that have to go through before construction works can started. The important stages are, stages of getting approval from authorities. The objective of this report to investigate the procedure for authority submission of multipurpose hall construction. In Permas Jaya, the local authorities that are involve in construction the multipurpose hall are, Majlis Bandaraya Johor Bahru (MBJB), Syarikat Air Johor (SAJ) and Indah Water Konsortium (IWK). All stages for submitting the documents should be followed the procedure. Receive approvals from authorities is important for constructing building to ensure that the building is safe.

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CHAPTER 1.0

INTRODUCTION

1.1 Background of Study

In building construction, obtaining approval of planning and development from the local authorities is an important process as each building must comply to the requirements established by the authorities during construction. Construction that does not have the authority's approval may face legal action, and the building will not acquire a Certificate of Completion and Compliance (CCC) after it is built as shown in Figure 1.1 The Certificate of Completion and Compliance (CCC) is crucial since it assures the safety of the building. In fact, this is one of the most important documents that the developer should provide over when the building completed. There are over 150 local authorities in Malaysia including city councils, municipal councils and district councils.



Figure 1.1 Certificate of Completion and Compliance (CCC)

Majlis Bandaraya Johor Bahru refers for the City Council of Johor Bahru. Under the Local Government Act 1976, a local authority is given the authority to perform facilities to the citizens of Johor Bahru. MBBB is in charge of the city's management, planning, and development. The MBBB is establish on 1910 started from the Lembaga

Bandaran (Town Board), and in 1952 it was upgraded to Majlis Bandaran (Town Council). After that, on April 1977, MBBB was became Majlis Perbandaran (Municipal Council) and finally on January 1, 1994 once Johor Bahru was declared a City, it became Majlis Bandaraya Johor Bahru (MBJB).

Aside from that, obtaining approval form others authorities is also important in constructing a building. For an example, Indah Water Konsortium (IWK) in an authority owns by The Minister of Finance Incorporated that manage the maintenance and development of sewerage system in Malaysia. In 1994, Indah Water has taken over sewerage services from local governments in all areas except Sabah and Sarawak as the federal government handed the corporation a concession for statewide sewerage services from local authorities. It is important to have an approval from IWK before sewerage works started in construction site, same as all others authorities.

1.2 Objectives

- i. To investigate the procedure for authority submission of multi-purpose hall construction.
- ii. To analyze the requirements for multi-purpose hall according to ACT 133, MSMA2, MS1228:1991, MWA & SPAN.
- iii. To determine the problems occurred and solutions taken to solve the problems.

1.3 Scope of Study

The study has been carried out on a multipurpose hall construction at PTD 200069 / LOT 185530, Jalan Permas ½, Bandar Baru Permas Jaya, Mukim Plentong, Daerah Johor Bahru, Johor. The study is focus on infrastructural authority submission that had been done for constructing a multipurpose hall in Johor Bahru. It involves various authorities such as Majlis Bandaraya Johor Bahru (MBJB), Indah Water Konsurtium (IWK) and also Syarikat Air Johor (SAJ). The design infrastructure submission that studies are earthworks, erosion and sediment control plan (ESCP), road, drainage, sewerage and water reticulation system. The studies will be including of the procedure that are done to request approval from the authority in constructing a multipurpose hall in Johor Bahru. All the requirements should be followed according to regulations in MSMA2, MS1228:1991, MWA & SPAN. All the report and drawing should follow all the regulations for approval of authorities. All problems that occurred will be solve immediately to avoid problems in constructing the multipurpose hall.

1.4 Method of Study

- i. Pre-consult with authorities – follows engineer to attend pre-consult session with authorities such as Majlis Bandaraya Johor Bahru (MBJB) in Menara MBJB located at Bukit Senyum, 80400 Johor Bahru, Johor.
- ii. Discussion – Done discussions with engineer on method of authorities' submission. Engineer explain in details all the works that should completed for the submission. The discussion is been take part by an engineer of AK Consult and two practical students. All the discussion was recorded by writing notes in book.
- iii. Interview – Ask questions to the engineer on the submission matter. The interview session is taken part for 30 minutes. All the answers are written in notebook.

- iv. Document reviews – Review documentations on submission report and drawing of past projects for authority’s submission.

CHAPTER 2.0

COMPANY BACKGROUND

2.1 Introduction of Company

AK Consult specializes on civil and structural engineering. This company is committed to satisfying the requirements of clients by providing high quality services possible. Furthermore, this company has been growing and expanding by broadening its services over civil and structural design. Private consultation and Independent Checking Engineer (ICE) services are also offered. AK Consult has developed a strong experience in working with large corporations either clients or consultants. For example, the latest work is Constructing 2 Additional Building in Kolej Vokasional (ERT) Azizah is under Kementerian Pendidikan Malaysia (KPM). Furthermore, the role of Independent Checking Engineer (ICE) is under Persatuan Bola Sepak Negeri Johor and is involved in the construction of a new 4-story stadium and 4-story management office in Johor Darul Takzim (PBNJ).

Engineering services, consulting services, construction services, structural engineering, and civil engineering are the five categories of field services offered by AK Consult. Project development, township planning and implementation, estimating, civil and structural design, and specifications are the engineering services available. Next, the types of services offered in the field of consulting services are preliminary studies, planning and claim evaluation and quantification. Tender procedures, bid evaluation, contract administration, cost and progress monitoring, and site supervision and inspection are among the construction services provided by AK Consult. AK Consult provides structural engineering services such as residential and shop house building, apartment and condominium, high medium rises commercial building, factory and warehouse, resort and recreation, piled foundation and sub grade structure, and retaining wall. Finally, civil engineering services works include mass earthwork, road and highways, storm drainage and surface drainage, water supply and reservoir, sewerage treatment plan, and soil erosion control.

Table 2.1 field and types of services and roles offers in AK consult Sdn. Bhd

FIELD OF SERVICES	TYPES OF SERVICES
Engineering Services	<ul style="list-style-type: none"> • Project Development • Township Planning & Implementation • Estimating • Civil & Structural Design • Specifications
Consulting Services	<ul style="list-style-type: none"> • Preliminary Studies • Planning • Claim Evaluation and Quantification
Construction Services	<ul style="list-style-type: none"> • Tender Procedures • Bid Evaluation • Contract Administration • Cost and Progress Monitoring • Site Supervision and Inspection
Structural Engineering	<ul style="list-style-type: none"> • Residential & Shop House Building • Apartment & Condominium • High Medium Rise Commercial Building • Factory & Warehouse • Resort & Recreation • Piled Foundation and Sub Grade Structure • Retaining Wall
Civil Engineering	<ul style="list-style-type: none"> • Mass Earthwork • Road & Highways • Storm Drainage & Surface Drainage • Water Supply and Reservoir • Sewerage Treatment Plan • Soil Erosion Control

2.2 Company Profile

AK Consult is a consultation company that founded in 2005 with the goal of participating in and contributing to Malaysia's dynamic National Economic Development. Ak consult are form under JM 0425764-V by a professional engineer, Ir Amzah Kasmuri. AK is the name of the owner of this company which is A stand for Amzah while K is Kamsuri in his name. the logo for AK Consult is capital letters of A and K in blue colour with AK Consult in capital letters under the logo as shown in Figure 2.1. AK Consult is located in Taman Impian Emas, Johor Bahru, Johor. AK

Consult was originally located at 43-A Jalan Impian Emas 6, Taman Impian Emas, Skudai, Johor. In 2017, AK Consult has moved to 61-A, Jalan Impian Emas 22, Taman Impian Emas, 81300, Skudai, Johor.



Figure 2.1 AK Consult Sdn Bhd

AK Consult has aimed for more development and expansion with experienced people in order to move toward greater, more active, and effective engagement in the professional industry, in conjunction with the New Economy Policy's goal. The engineers have excellent leadership and the capacity to manage the project while guaranteeing good design practice at a reasonable cost to satisfy the client's expectations and local authority regulations.

AK Consult is capable and competent of offering high-quality professional and consulting services to clients in a wide range of Engineering Consultancy and Management Services. It takes pride in the job that it does. The company conducts each engagement in accordance with the highest established and acknowledged consulting company standard.

Table 2.2 Details about AK Consult Sdn Bhd

Company Name	AK Consult
Types of Company	Civil and Structural company
Company Registration Number	JM 0425764-V
Owner Name	Ir. Amzah Kasmuri
Year Establish	2005
Numbers of Workers	8 workers including practical students
Address	61-A, Jalan Impian Emas 22, Taman Impian Emas, 81300 Skudai, Johor.
Coordinate	1°32'12 N 103°40'15°E
Email Address	akconsult.akc@gmail.com
Contact Number	07-559 6460

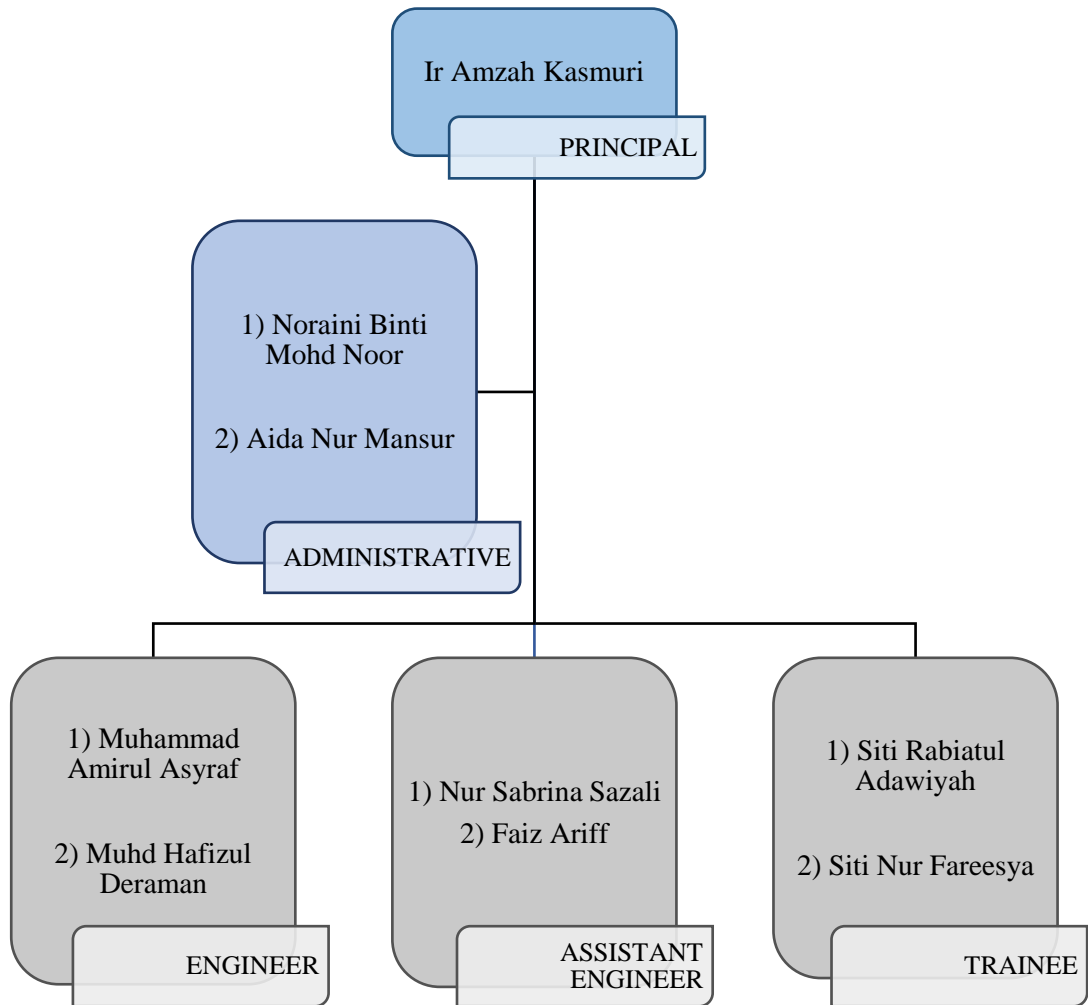
2.3 Company Organisation Chart

Ir Amzah Kasmuri started the company AK Consult. Ir Amzah is a professional engineer with years of experience. This company employs a total of eight people, including practical students as shown in Figure 2.3.1. AK Consult is divided into two departments. To begin, there is the administrative department, which is in charge of all communications and financial matters. Puan Noraini Binti Mohd Noor and Puan Aida Nur Mansur, two long-serving AK Consult workers, are in charge of this section. They've been with AK Consult for over ten years.

Next, the technical department which consists of engineers, assistant engineers and also practical students. En Muhammad Amirul Asyraf and En Muhd Hafizul Deraman, both male engineers, work at AK consult. Miss Nur Sabrina Sazali and Faiz Ariff are assistant engineers who assists with technical duties. AK Consult also accepts practical students to complete their industrial training within the company. The technical department handles all of the company's projects, including structural design, infrastructure design, and AutoCAD drawing, and others.



AK CONSULT ORGANISATION CHART



2.4 List of Project

AK Consult has been operating since 2005. Many projects have been done by AK Consult from various clients for 17 years as civil and structural company in Johor Bahru. Table below shown a list of some projects done by AK Consult in 2018 until 2021:

2.4.1 Completed Projects

Table 2.3 Completed project involve with AK Consult Sdn. Bhd.

No.	Project Title	Start Date	Completion Date	Project Duration	Client
1.	Development and Construction of a Football Stadium Complex Comprising Football Stadium, Management Office and Waste Chamber in Iskandar Puteri, Johor, For Persatuan Bolasepak Negeri Johor (“PBNJ”)	2/2020	11/2020	10 months	Bright Dream Innovation Sdn Bhd (BDISB)
2.	Proposed Construction and Completion of: Phase 1: 35 Units of Shop Office Including: 1. 4 Units of 3 Storey Shop Office (38'x70') - Corner Unit 2. 27 Units of 2 Storey Shop Office (22'x70') - Intermediate Unit 3. 3 Units of 2 Storey Shop Office (28'x70') - End Unit	6/2018	2/2020	1 year 8 months	Sime Darby Property (Pagoh) Sdn. Bhd.

	<p>4. 1 Unit of 2 Storey Shop Office (22'x70') - End Unit</p> <p>5. 3 Units of Tnb Substation (Double Chamber)</p> <p>Phase 2b: 38 Units Od Shop Storey Including:</p> <p>1. 4 Units of 3 Storey Shop Office (38'x70') - Corner Unit</p> <p>2. 30 Units of 2 Storey Shop Office (22'x70') - Intermediate Unit</p> <p>3. 4 Units of 2 Storey Shop Office (28'x70') - End Unit</p> <p>Including Infrastructure and Associated Works on Lot Ptd 14425, Bandar Universiti Pagoh, Mukim Jorak, Daerah Muar, Johor Darul Ta'zim</p>				
3.	<p>Mereka Bentuk, Membina Dan Menyiapkan 400 Unit Rumah Kluster Satu (1) Tingkat Dan Kerja - Kerja Berkaitan Dengannya Bagi Rumah Malaysia (Disewa), Sembrong, Johor (Reka Dan Bina) Untuk Kementerian Perumahan Dan Kerajaan Tempatan (KPKT) Malaysia</p>	2/2021	5/2021	4 months	Kementerian Perumahan Dan Kerajaan Tempatan
4.	<p>Permohonan Pelan Kerjatanah, Jalan Dan Perparitan Bagi Pembangunan Perumahan Berkonsep Komuniti Berpagar Dan Perdagangan 108.81ekar (44.03 Hektar) Di Atas Lot 30465,</p>	6/2018	1/2020	1 year 7 months	Sime Darby Property (Nilai) Sdn. Bhd.

	30621, 30623, 30628, 30629, 31304 & 31305, 31318, 33096 Dan Tanah Kerajaan Seluas 1.4401 Ekar, Mukim Pekan Nilai, Daerah Seremban, Negeri Sembilan.				
5.	Proposed Construction and Completion Of 15 Units 3 Storey Shop Office, 17 Units 4 Storey Shop Office, 2 Units Double Chamber Tnb Substation and All Related Infrastructure Works on Lot 29090 & Lot 33482, Jalan Serampang, Taman Pelangi, Johor Bahru	6/2018	11/2021	3 years 5 months	Pelangi Sdn Bhd @ SP Setia Berhad
6.	Cadangan Membina Sekolah Agama Sri Jasa Sepakat Di Atas Lot 10681, Mukim Simpang Kiri, Daerah Batu Pahat, Johor Darul Takzim	5/2020	9/2020	5 months	Jabatan Agama Islam Johor
7.	Cadangan Membina Sekolah Agama Bindu Di Atas Ptd 3652, Mukim Linau Daerah Batu Pahat, Johor Darul Takzim	5/2020	11/2021	1 year 6 months	Jabatan Agama Islam Johor
8.	Cadangan Membina Dan Menyiapkan 3 Blok Tambahan Yang Mengandungi 12 Bilik Darjah Dan Lain-Lain Kemudahan Yang Berkaitan Di Sekolah Menengah Kebangsaan Dato' Ahmad Arshad (Smk Batu Anam), Segamat, Johor Darul Takzim.	6/2018	3/2020	1 year 9 months	Kementerian Pendidikan Malaysia Bahagian Pembangunan Dan Pelajaran

9.	<p>Cadangan Membina Dan Menyiapkan 190 Unit Rumah Teres 2 Tingkat Yang Terdiri Daripada:</p> <p>1. Plot 9b 88 Unit Rumah Teres 2 Tingkat (20' X 70') Di Atas Plot 1- Plot 88</p> <p>2. Plot 9c 102 Unit Rumah Teres 2 Tingkat (20' X 70') Di Atas Plot 89 - Plot 190</p> <p>3. 1 Unit Pencawang Elektrik Tnb Dua Ruang Di Atas Plot [9] Di Atas Sebahagian Plot 9, Taman Pasir Putih, Mukim Plentong, Daerah Johor Bahru, Johor Darul Takzim Untuk Tetuan Sime Darby Usj Development Sdn.Bhd</p>	6/2018	5/2021	2 years 11 months	Sime Darby USJ Development Sdn.Bhd
10.	<p>Cadangan Pembangunan Perumahan Penjawat Awam 1 Malaysia (PPA1M) Yang Mengandungi: -</p> <p>1) 198 Unit Rumah Teres 2 Tingkat (Jenis A)</p> <p>2) 496 Unit Rumah Teres 2 Tingkat (Jenis B)</p> <p>3) 1 Unit Surau 1 Tingkat</p> <p>4) 1 Unit Kompleks Serbaguna 2 Tingkat</p> <p>5) 5 Unit Pencawang Elektrik</p>	6/2018	5/2021	2 years 11 months	YPJ Builders Sdn. Bhd.

	Di Atas Lot 22825 (Lot Lama Ptd 10202), Mukim Ulu Singai Johor, Daerah Kota Tinggi, Johor Darul Takzim Untuk Tetuan YPJ Builders Sdn. Bhd. Package 2: Kerja-Kerja Cerucuk, Kerja-Kerja Bangunan, Kerja-Kerja Infrastruktur Utama Dan Kerja-Kerja Yang Berkaitan.				
11.	Cadangan Membina Dan Menyiapkan Sebuah Dewan Serbaguna Di Atas Lot Ptd 185510 Taman Pulau Indah Mukim Pulau Daerah Johor Bahru	6/2018	2/2020	1 year 8 months	Majlis Perbandaran Johor Bahru Tengah
12.	Cadangan Membina Dan Menyiapkan Kerja Bangunan Dan Kerja - Kerja Berkaitan Di Politeknik, Mersing	6/2018	8/2019	1 year 2 months	Kementerian Pengajian Tinggi Malaysia
13.	Proposed Construction and Completion For 53 Units Double Storey Terrace House, 1 Unit Tnb Sub-Station and Infrastructure Works at Part of Lot 24331 (Grn 234356), Lot 24332 (Grn 234357), Lot 5712 (Grn 68666) Sub-District of Rasah, District of Seremban, Negeri Sembilan	1/2020	3/2021	1 year 2 months	Sime Darby Chemara Sdn Bhd
14.	Proposed Development of Phase 8c Nusa Idaman, Consisting Of 400 Units Apartment on Part of Lot Ptd 116783, 116785 & 116786, Nusajaya, Johor Darul Takzim	9/2020	2/2021	5 months	UEM Sunrise Berhad (UEMS)

2.4.2 Project in Progress

Table 2.4 On-going project involve with AK Consult Sdn. Bhd.

No.	Project Title	Start Date	Client
1.	Proposed 23 Storey Apartment, East Ledang Commercial Phase 1a, Nusajaya, Johor	5/2021	UEM Land Bhd
2.	Cadangan Membina Dan Menyiapkan Rumah Pekerja Ladang Di Ladang-Ladang Felda Global Ventures Plantations (M) Sdn. Bhd	4/2021	FGV Holdings Berhad
3.	Cadangan Merekabentuk Dan Membina Masjid Baru Berkapasiti 800 Jemaah Dengan Anggaran Kos Rm4 Juta	9/2019	KPRJ Builders Sdn Bhd
4.	Proposed Construction and Completion Of 142 Units of Double Storey Link House (20'x70'),1 Unit of Guard House And 1 Unit of Tnb Substation Including Infrastructure Works at Lot Pt 1217 (Hsd 205144), Phase Nu3a6, Nilai Impian, Mukim Bandar Nilai Utama, Daerah Seremban, Negeri Sembilan Darul Khusus	10/2019	Sime Darby Nilai Utama Sdn Bhd
5.	Cadangan Pemajuan 1 Blok Bengkel Bakeri Dan Pastry 1 Tingkat Dan 1 Blok Bengkel Pengajian Awal Kanak-Kanak Dan Bengkel Kosmetologi 2tingkat Di Atas Sebahagian Lot 19767, Bandar Johorbahru, Daerah Johor Bahru, Johor Darul Takzim	8/2020	Kementerian Pelajaran Malaysia

6.	Cadangan Merekabentuk, Membina, Menyiapkan Sebuah Dewan Serbaguna Beserta Kemudahan-Kemudahan Berkaitan Di Atas Ptd 200069/Lot 185530, Jalan Permas ½. Bandar Baru Permas Jaya, Mukim Plentong, Daerah Johor Bahru, Johor Darul Takzim	3/2020	KPRJ Builders Sdn Bhd
7.	Cadangan Membina Dan Menyiapkan 35 Unit Rumah Teres 2 Tingkat (Fasa 3) Yang Mengandungi 18 Unit Rumah Teres 2 Tingkat Jenis A (20'x77'), 17 Unit Rumah Teres 2 Tingkat Jenis A (20'x100'), Di Atas Lot Pt 35789 – Lot Pt 35818 Dan Lot 35820 – Lot 35855, Parcel C, Bandar Enstek, Daerah Seremban, Negeri Sembilan Darul Khusus	10/2019	THP Enstek Development Sdn. Bhd
8.	Cadangan Pembangunan Perumahan Penjawat Awam 1malaysia (PPAM) Yang Mengandungi: - 1. 500 Unit Rumah Teres 2 Tingkat 20' X 70' 2. 1 Unit Kompleks Serbaguna 1 Tingkat 3. 1 Unit Surau 4. 4 Unit Pencawang Elektrik Di Atas Sebahagian Lot Ptd 2147, Di Mukim Pantai Timur, Daerah Kota Tinggi, Johor Darul Takzim	10/2019	YPJ Builders Sdn. Bhd.
9.	Cadangan Membina Sekolah Agama Taman Molek Di Atas Lot 5928, Mukim Plentong, Daerah Johor Bahru	5/2020	KPRJ Builders Sdn Bhd

10.	Proposed Construction and Completion Of 139 Units of Single Storey (20'x70') Terrace House Including Infrastructure Works and Associated External Works at Lot 458 And Lot 9174, Pekan Bagan Pinang, Mukim Si Rusa, Daerah Port Dickson, Negeri Sembilan Darul Khusus.	6/2018	PNB Development Sdn Bhd
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CHAPTER 3.0

AUTHORITY SUBMISSION OF MULTIPURPOSE HALL AT BANDAR BARU PERMAS

3.1 Introduction to Multipurpose Hall at Bandar Baru Permas

This project's building proposal is a community development on Ptd 200069 and Lot 185530, Jalan Permas ½, Bandar Baru Permas Jaya, Mukim Plentong, Johor Bahru District, Johor Darul Ta'zim. The intended development area is 0.725 acres in size. This project has been awarded to AK consult for professional services by Kumpulan Prasarana Rakyat Johor (KPRJ Builders) in 2015. The State Government of Johor established Kumpulan Prasarana Rakyat Johor Sdn. Bhd. (KPRJ) as a private limited company on November 8, 1995. KPRJ has established itself as a key developer of social and infrastructure projects for the state of Johor throughout the years. KPRJ also engages in real estate investing and infrastructure construction. Through its role as one of the core shareholders in Iskandar Investment Berhad, KPRJ, as the investment arm of Johor, is a major player in the development of Iskandar Malaysia (IIB). KPRJ owns Infra Desa (Johor) Sdn. Bhd., Iskandar Waterfront Holdings Sdn. Bhd., and Southkey City Sdn. Bhd. at the moment.

AK consult are given responsibility to provide professional advice and consultancy on civil and structural matters, project monitoring and contract administration. The scope projects of this project, it to prepare and provide the civil and structural design and concept based on KPRJ Builders needs, schematic design, assumption, calculations, drawings, specifications and others information necessary. Then, liaisons with authorities to ensure utilities services available on site and submission to the authorities and obtaining approval of development order, building plan and other relevant requirements for completion of the project. Next, AK Consult should also liaison and coordination with others consultants, contractors, sub-contractors that appointed for the project. The main contractor for this project is Mahir Bina Sdn Bhd. The contractor was given responsibility to construct the multipurpose hall for Bandar Baru Permas residents. All the construction works by the contractor should according to consultants' orders that approved by KPRJ and authorities. KPRJ Builders awarded



Figure 3.1 Topography

3.2 Procedure for Authority Submission of Multipurpose Hall

The workflow for authorities' submission for constructing a building started with planning approval from the authority. According to subsection 2(1) of the Town and Country Planning Act 1976 (Act 172), planning approval is required permission granted to carry out development, with or without conditions. Planning approval is the approval required after approval to change land conditions has been obtained, that is, before the building plan process can begin. Planning approval is a written document issued by the Local Planning Authority (PBPT). According to subsection 19 (1), unless planning permission in respect of a development has already been granted to the applicant under section 22 or extended under subsection 24 (3), any development other than one carried out by a local authority (PBT) cannot be begun, undertaken, or completed. The Local Planning Authority must grant planning approval to all developments. The owner can be convicted of an offence under Section 27 and Section 28 of Act 172 if the development is carried out without planning authorization or in violation of planning approval. Subsection 26 (1) specifies the penalties that can be imposed, which include a fine of not more than 500,000 ringgit or imprisonment. for a duration of not more than two years, or both at the same time.

On 4th august 2019, planner of project multipurpose hall Bandar Baru Permas, Farik Ghaffar Architect request for exemption from planning approval. This request needs to be submitted as procedure of exemption from planning approval through submitting documents in ExPA checklists given by Majlis Bandaraya Johor Bahru. The document that needs to be submitted for exemption from planning approval (ExPA) are, title deed letter that been approved by PTD/PTG and copy of location plan and site plan of

multipurpose hall Bandar Baru Permas. Multipurpose hall Bandar Baru Permas qualify for exemption from planning approval as the building will be hand over to Pejabat Daerah Johor Bahru as government building for resident uses.

Next, after getting exemption from planning approval (ExPA) for Multipurpose Hall Bandar Baru Permas from Majlis Bandaraya Johor Bahru, Farik Ghaffar Architect prepare the building plan of Multipurpose Hall Bandar Baru Permas. The approval plan is a graphical or symbolic representation of how a structure will appear after the multipurpose hall is constructed. It is the basic purpose of the multipurpose hall to get a general idea of how the multipurpose hall will be constructed. the plan that prepared by Farik Ghaffar Architect for the Multipurpose Hall Bandar Baru Permas is Site Plan, Ground Floor Plan, Roof Plan, Elevation Plan from Front, Rear, Left and Right View of the hall.

After building plan stages by the architect, all consultants for project Multipurpose Hall Bandar Baru Permas, play an important role to submit approval to the authorities. AK Consult is civil and structural engineer for multipurpose hall Bandar Baru Permas. Preparation on report and design of infrastructure works for multipurpose hall Bandar Baru Permas are made for all infrastructural works, there are six infrastructure works submitted to authorities for approval. It is involving local authorities such as Majlis Bandaraya Johor Bahru (MBJB), Syarikat Air Johor (SAJ) and Indah Water Konsortium (IWK).

Pre-consult in an important step before submit an approval to authorities. Pre-consult between two party involve is to determine the best design that used for the multipurpose hall Bandar Baru Permas. AK Consult's engineers, attend pre-consult with the person in-charge for each department. Documentation such as design drawing and design report will be presented to the authorities. The person in-charge of the department involve will give comments on the draft design before submitting final submissions.

In submission for earthwork design, it involving an officer from earthwork department of Majlis Bandaraya Johor Bahru. G1 Form, Stages Certificate of Earthwork are compulsory to submit for earthworks. Then, for Erosion and Sediment Control Plan (ESCP) works, E2 Form, notice to start earthwork are required. Road and drainage department of Majlis Bandaraya Johor Bahru will manage the submission

on road and drainage infrastructure work. Other than report and drawing, important forms of road and drainage works are submitted for approval of the authorities. The forms that required are, RD1 form to RD6 form. Sewerage works are involving the Indah Water Konsortium (IWK) officer. For sewerage submission, total population evolution for the multipurpose hall are calculated. Submission for all the documentations and forms for sewerage works will going until the building are fully constructed. Water reticulation and demand of the multipurpose hall is under the supervision of Syarikat Air Johor (SAJ).

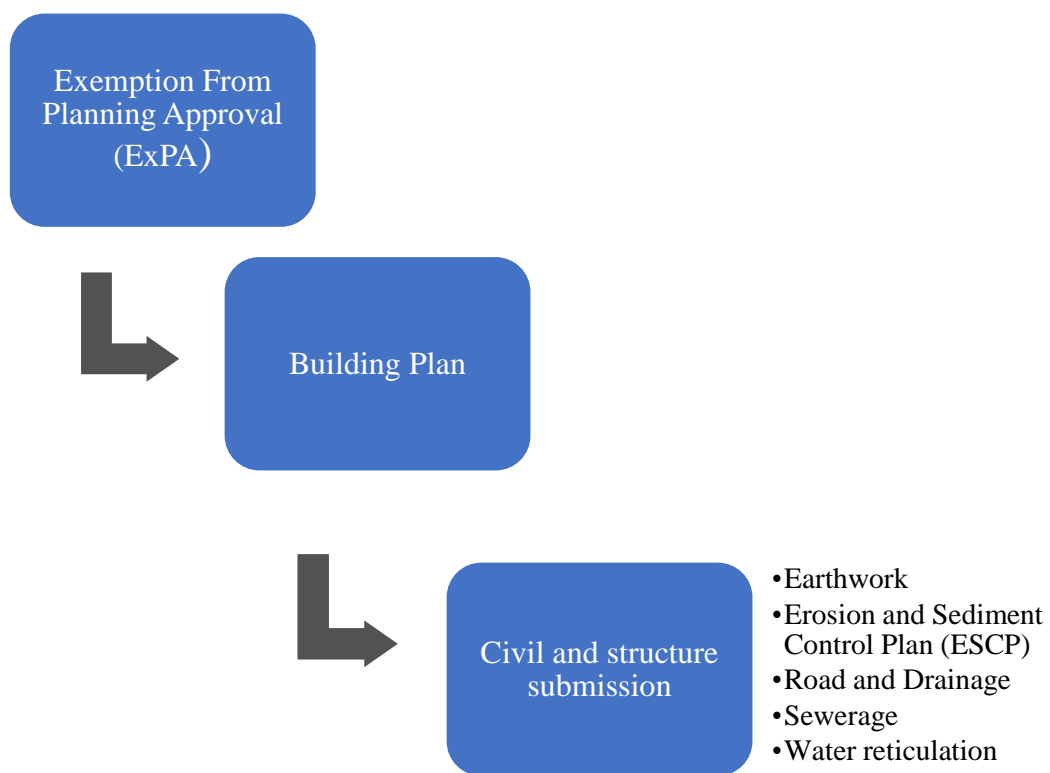


Chart 2.1 Work flow of Submission of Multipurpose Hall

3.3 The Requirements for Multipurpose Hall

An Act to reform and consolidates the laws related to street, drainage, and construction in local authority areas in Peninsular Malaysia, and for purposes associated therewith, according to ACT 133, street, drainage, and building act 1974. This Act shall take effect on the date that the Minister may choose in regard to that State by publication in the Gazette, following consultation with the State Authority, and the Minister may appoint various dates after consultation with the State Authority.

In particular, the drainage system design for this proposed development site is based on the guidelines of the Urban Stormwater Management Manual for Malaysia (MSMA 2nd Edition) and uses Dranet MiTS 1.11.46.1 computer software. In the entire design that has been prepared, the following criteria have been considered and used as a basis to ensure no disturbance to the local community. The criteria are Flows before and after development for the period of 10 and 100 years have been studied and ensured not to cause flash floods. Increased surface flow velocities due to changes in soil surface profile have also been considered and slowed down by providing ground cover cropping methods.

Before the actual earthworks are carried out, demolition works on existing buildings need to be carried out. Subsequently, land cutting and reclamation works will be carried out to obtain the proposed new land level. Earthworks will also involve the disposal of unsuitable material within the proposed development site. The land will then be replaced with suitable land according to the standard. The Environmentally Friendly Drainage Manual (MSMA 2nd Edition) is used as a guideline control of earthworks. Among the control criteria that have been designed are Only land profiles or areas involved in development will be developed. A 300mm thick Top Soil layer will be segregated into a stock pile area for reuse once the cutting and reclamation works reach the final ground level.

The proposed Sewerage Pipe System apart from draining sewage wastewater, its design also considers the amount of infiltration water. Usually this infiltration water is caused by a poor pipe connection system as well as cracking problems in sewer pipes and manholes. As a guide, the proposed sewerage system is designed considering the minimum infiltration rate of 50 liters per mm diameter per km of sewer pipes per day.

3.4 Problems Occurred and Solutions Taken

When submitting to the authorities, there are many problems and obstacles encountered. Among the main problems that arise during the work of authority's submission are, the authorities requested additions design to the existing design. This has led to an increase in construction costs. For example, the road and drainage department requested the addition of a walkway around the hall. According to the original design that are made by the engineers, there are no walkway provided, this leads to a high cost increase. To resolve the problem, AK Consult, provides a pre-consult form to be filled by the authority accompanied by a stamp and signature as proof that the design is a request from the authorities. Therefore, KPRJ Builders will not questioning AK Consult about the increase costs.

Next, the client pushes the consultant to do the submission work quickly. This is unavoidable because, the approval of the authorities must be made in accordance with the correct procedure. This problem can be solved by providing the client with a meeting schedule and pre-consult schedule so that the client knows that the submission work is running according to the procedure.

Last but not least, the authorities are busy with various projects making it difficult to arrange meetings to get pre-consult services. Majlis Bandaraya Johor Bahru MBBJ is a large authority, therefore, all projects under the district of Johor Bahru are fully controlled by Majlis Bandaraya Johor Bahru MBBJ which keeps the authorities busy. This problem can be avoided by making an appointment in advance for a meeting with the authorities. it will make it easier for both parties.

CHAPTER 4.0

CONCLUSION

In conclusion, the authority's submission is the important stages of construction. Without the authority's approval, the building can be declared unsafe to use. There are 3 important stages for authorities' approval. Approval plan, building approval and also civil and structure approval. The stages need to do according to the authorities. There are a few laws that should be followed in designing the multipurpose hall for example, MSMA, Malaysian Standard and many more. In the authorized submission, there will be many problems happen such as problems with authorities and client, all the problems need to be solved well and quickly.

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