



**DEPARTMENT OF BUILDING**  
**UNIVERSITI TEKNOLOGI MARA**  
**(PERAK)**

**EXTENSION OF TIME FOR CONSTRUCTION WORKS AT**  
**SEKOLAH KEBANGSAAN KEDAIK, ROMPIN, PAHANG**

**Prepared by:**

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UNIVERSITI TEKNOLOGI MARA  
(PERAK CAWANGAN SERI ISKANDAR)**

**FEBRUARY 2022**

It is recommended that the report of this practical training provided

**By**

**Seri Nuraliah Binti Adzmi**

**2019296934**

**entitled**

**Extension of Time for Construction Works  
at Sekolah Kebangsaan Kedaik, Rompin, Pahang.**

be accepted in partial fulfilment of requirement has for obtaining Diploma in Building.

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**10<sup>th</sup> JANUARY 2022**

**STUDENT'S DECLARATION**

I hereby declare that this report is my own work, except for extract and summaries for which the original references stated herein, prepared during a practical training session that I underwent at Zana Bina Sdn Bhd for duration of 20 weeks starting from 23 August 2021 and ended on 7 January 2022. It is submitted as one of the prerequisite requirements of BGN310 and accepted as a partial fulfilment of the requirements for obtaining the Diploma in Building.

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## **ABSTRACT**

Extension of time is a common thing in construction projects. This report will discuss about the process of extension of time based on 'Projek Pembinaan Bangunan Tambahan 6 Bilik Darjah Dan Lain-Lain Kemudahan Di Sekolah Kebangsaan Kedaik, Rompin, Pahang'. The parties involved in this project are Zana Bina Sdn Bhd, JKR Daerah Rompin, and other sub-contractors. Zana Bina Sdn Bhd as the main contractor has applied for extension of time due to the retaining wall. However, due to the delay of JKR Daerah Rompin in giving the final words, it further strengthens Zana Bina Sdn Bhd to get extension of time for the project. Therefore, the main objectives are to investigate the reason of extension of time, to identify the clauses of extension of time in Contract Document by JKR, and to determine the procedure to apply extension of time. The collected data regarding extension of time obtained from observation, interview, and document reviews during practical training at Zana Bina Sdn Bhd. This report can be as a guide for construction company on how to apply for extension of time in a right way in upcoming projects.

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## **CHAPTER 1.0**

### **INTRODUCTION**

#### **1.1 Background of Study**

Construction industry is a backbone of economic growth in Malaysia. This is because construction industry encompasses all the sectors including construction of buildings, infrastructures, and specially trades. However, there are many challenges faced by construction industry in Malaysia. One of the problems is delay. According to IPM Professional Services (2021), the term delay can be defined as the extension of time in the completion of project. In contract, the completion date has been set and the contractor need to ensure the project can be completed according to the time. When delay occurs, the contractor will add a predetermined time through the application of Extension of Time (EOT) (M.A. Khoiry et al., 2013).

The definition of Extension of Time (EOT) by Roger Gibson (2015), the author of *A Practical Guide to Disruption and Productivity Loss on Construction and Engineering Projects* book is “additional time granted to the contractor to provide an extended contractual time period or date by which work is to be, or should be completed and to relieve it from liability for damages for delay (usually liquidated damages)”. The factors of extension of time can be divided to three main factors. Firstly, extension of time can be caused by the contractor. Secondly, the actions of the client or the authority. Thirdly, something beyond the control of the client and the contractor (Mohd Nazir Ismail, 2014).

To apply extension of time, the client and the contractor need to understand the clauses in Contract Document. Delay and extension of time stated in clause 43 in Contract Document by Jabatan Kerja Raya Malaysia (Public Works Department) 203 A. The clause that discussing about the delay and extension of time is an important clause because it allows the completion date (original or amended) of a project to be amended to the new completion date. Without this clause, the authority does not have the right

to extend the construction period that has been agreed at the early stage as stated in the contract document (Mohd Nazir Ismail, 2014). Therefore, the aim of this report is to discover the process of extension of time in construction.

## **1.2 Objectives**

- i. To investigate the reason of extension of time.
- ii. To identify the clauses of extension of time in Contract Document by JKR.
- iii. To determine the procedure to apply extension of time.

## **1.3 Scope of Study**

The scope of study focused on the reason of extension of time, the clauses of extension of time in Contract Document by JKR, and the procedure to apply extension of time for Sekolah Kebangsaan Kedaik, Rompin, Pahang's project.

## **1.4 Methods of Study**

- i. Observation method

This observation method is done with site visit. This observation is also supported by camera. The camera is used to take pictures and videos at the site for more information about the project.

- ii. Interview method

This interview method is unstructured interview. Unstructured interview is interviewer asks open-ended questions based on a specific topic. The purpose is same, which is to gain more information about the project. This interview method is done with interview a person who is involved in the project. For example, interviewing a quantity surveyor.

iii. Document reviews

To obtain more information regarding the project, reviewing documents also one of the methods of study. The documents are such as company profile, construction drawing, document contract, progress report, and the pictures taken by site supervisor to update the works on site in WhatsApp.

## CHAPTER 2.0

### COMPANY BACKGROUND

#### 2.1 Introduction of Company

Zana Bina Sdn Bhd is a private company owned by Encik Azri Shafiq bin Mohd Yusof. Zana Bina Sdn Bhd incorporated in Iskandar Puteri, Johor Bahru on 18 October 2010 with registration number 918580-W. The address is at 152B, Jalan Sentral 1, Taman Nusa Sentral, 79100, Iskandar Puteri, Johor. The company main business activities such as building construction, civil engineering, electrical and mechanical construction since 2010. Meanwhile, property developer since 2016. Any questions regarding the business activities can reach out on +07-5950677. Meanwhile, any documents regarding the business activities can be send to fax number +07-5950767 or can email to zbsb2010@gmail.com.



Figure 1: Building of Zana Bina Sdn Bhd.

## 2.2 Company Profile

### 2.2.1 Company Information

#### 2.2.1.1 Sijil Perolehan Kerja Kerajaan

CIDB – Lembaga Pembangunan Industri Pembinaan Malaysia

Registration Number: 0120101202-JH131878

Validity: 05/08/2021 until 18/08/2023



#### SIJIL PEROLEHAN KERJA KERAJAAN

Adalah disahkan syarikat/Firma ini adalah berdaftar dengan Lembaga Pembangunan Industri Pembinaan Malaysia dan tertakluk kepada syarat-syarat termaktub bersama sijil ini.

No. Pendaftaran : 0120101202-JH131878  
Nama Kontraktor : ZANA BINA SDN. BHD.  
Alamat Berdaftar : 152B JALAN SENTRAL 1 TAMAN NUSA SENTRAL  
79100 NUSAJAYA  
JOHOR  
Daerah : JOHOR BAHRU  
Tarikh Mula Berdaftar : 02/12/2010

<b>GRED</b>	<b>KATEGORI</b>	
G6	CE	(Pembinaan Kejuruteraan Awam)
G6	ME	(Mekanikal dan Elektrikal)
G6	B	(Pembinaan Bangunan)

<b>PEGAWAI SYARIKAT YANG DITAUJAHKAN</b>	<b>NO. KIP</b>
AZRI SHAFIQ BIN MOHD YUSOF	770117016509
IFFA ILL YA BTE MOHD ISA	960117015686
AHMAD NAIM BIN TARMIDI	800404145827

Tarikh Mula Berkuatkuasa : 05/08/2021  
Tarikh Habis Tempoh Perakuan : 18/08/2023

A handwritten signature in black ink, appearing to be 'H. H.', written over a light blue grid background.

Ketua Eksekutif  
Lembaga Pembangunan Industri Pembinaan Malaysia  
Tarikh: 05/08/2021



Figure 2: Sijil Perolehan Kerja Kerajaan.

Source: Zana Bina Sdn Bhd (2021).

### 2.2.1.2 Perakuan Pendaftaran

CIDB – Lembaga Pembangunan Industri Pembinaan Malaysia

Registration Number: 0120101202-JH131878

Validity: 07/07/2021 until 18/08/2023



#### PERAKUAN PENDAFTARAN

Adalah dengan ini diperakui bahawa kontraktor yang dinyatakan di bawah ini telah berdaftar dengan Lembaga mengikut Bahagian VI Akta Lembaga Pembangunan Industri Pembinaan Malaysia 1994. Pendaftaran ini adalah tertakluk kepada syarat-syarat yang telah ditetapkan bersama perakuan ini.

No. Pendaftaran : 0120101202-JH131878  
Nama Kontraktor : ZANA BINA SDN. BHD.  
Alamat Berdaftar : 152B JALAN SENTRAL 1 TAMAN NUSA SENTRAL  
79100 NUSAJAYA  
JOHOR  
Daerah : JOHOR BAHRU  
Tarikh Mula Berdaftar : 02/12/2010

<u>GRID</u>	<u>KATEGORI</u>	<u>PENGGHUSUSAN</u>
G6	CE	CE01 CE02 CE03 CE06 CE10 CE13 CE14 CE21 CE30 CE31 CE34 CE36 CE42 CE43
G6	ME	M15
G6	B	B02 B04 B12 B13 B14 B24 B26 B28

Tarikh Mula Berkuatkuasa : 07/07/2021  
Tarikh Habis Tempoh Perakuan : 18/08/2023

STATUS: AKTIF

A handwritten signature in black ink, appearing to be 'Zana Bina Sdn Bhd'.

Ketua Eksekutif  
Lembaga Pembangunan Industri Pembinaan Malaysia  
Tarikh: 07/07/2021



Figure 3: Perakuan Pendaftaran.

Source: Zana Bina Sdn Bhd (2021).



### 2.2.1.3 Sijil Taraf Bumiputera

Kementerian Pembangunan Usahawan Dan Koperasi

Registration Number: 0120101202-JH131878

Validity: 27/08/2021 until 18/08/2021



#### **PUSAT KHIDMAT KONTRAKTOR**

KEMENTERIAN PEMBANGUNAN USAHAWAN DAN KOPERASI  
SIJIL TARAF BUMIPUTERA  
KONTRAKTOR KERJA

Adalah dengan ini syarikat tuan seperti tercatat di dalam Sijil ini diiktiraf sebagai kontraktor kerja bertaraf Bumiputera. Pemberian pengiktirafan ini adalah tertakluk kepada syarat-syarat termaktub di belakang sijil.

<u>NO. SIJIL PENDAFTARAN</u>	<u>GERAJA PENDAFTARAN</u>	<u>KATEGORI</u>	<u>TEMPOH SAHLAKU</u>
0120101202-JH131878	G6	CE	DARI : 27/08/2021
	G6	ME	HINGGA : 18/08/2023
	G6	B	

#### NAMA DAN ALAMAT BERDAFTAR

ZANA BINA SDN. BHD.  
152B JALAN SENTRAL 1 TAMAN NUSA SENTRAL  
79100 NUSAJAYA  
JOHOR  
JOHOR BAHRU

#### PEGAWAI SYARIKAT YANG DITAUJIAHKAN

<u>NO. K/P</u>
770117016569
960117015686
800404145827

(MARLINA BINTI RAMLY)  
Pegarah  
Pusat Khidmat Kontraktor  
Kementerian Pembangunan Usahawan dan Koperasi  
Tarikh: 27/08/2021



Figure 4: Sijil Taraf Bumiputera.

Source: Zana Bina Sdn Bhd (2021).

## 2.2.2 Company Assets

Table 1: List of vehicles.

No	Item	No. Plate	Unit
1	Lorry	JCS 5441	1
2	Honda Vave100	JHF 7371	1
3	Nissan X – Trail 2.01 CVT	V1424	1

Source: Zana Bina Sdn Bhd (2021).

Table 2: List of machineries.

No	Item	Unit
1	Concrete Mixer Toku (TK7TM)	1
2	Generator 5.0 Robin EY20-3 (RG 2400kw)	2
3	Compactor 5.0 Robin EY20-3 (Robin EY20D)	2
4	Bar Bending Machine	1
5	Bar Cutter Machine	1
6	Excavator Hitachi EX100	1

Source: Zana Bina Sdn Bhd (2021).

Table 3: List of tools.

No	Item	Unit
1	Scaffolding:	
	a. 1700mm x 1219mm Frame	416
	b. 914mm x 1219mm Frame	152
	c. 600mm U Head	1179
	d. 220/225mm Joint Pin	1019
	e. 1829mm x 1219mm Cross Brace	1617
	f. 1829mm x 610mm Cross Brace	45
2	40ft Container	1
3	20ft Office Cabin	1
4	Green Level TOPCON AT-G6	1

Source: Zana Bina Sdn Bhd (2021).

### 2.3 Company Organization Chart

Zana Bina Sdn Bhd has three departments. Firstly, project department. Azri Shafiq as the director of Zana Bina Sdn Bhd, followed by Iffa Illya as the quantity surveyor, Aizat Azrin as the assistant project manager, Mohd Hariz Izdihar as the site supervisor, Muhamad Fahmi as the site supervisor and Muhammad Khudhairi as the safety site supervisor. Secondly, management and finance department. Ariana as the chief financial officer and Nuriza as the account executive. Thirdly, marketing department managed by Tengku Naquidin.

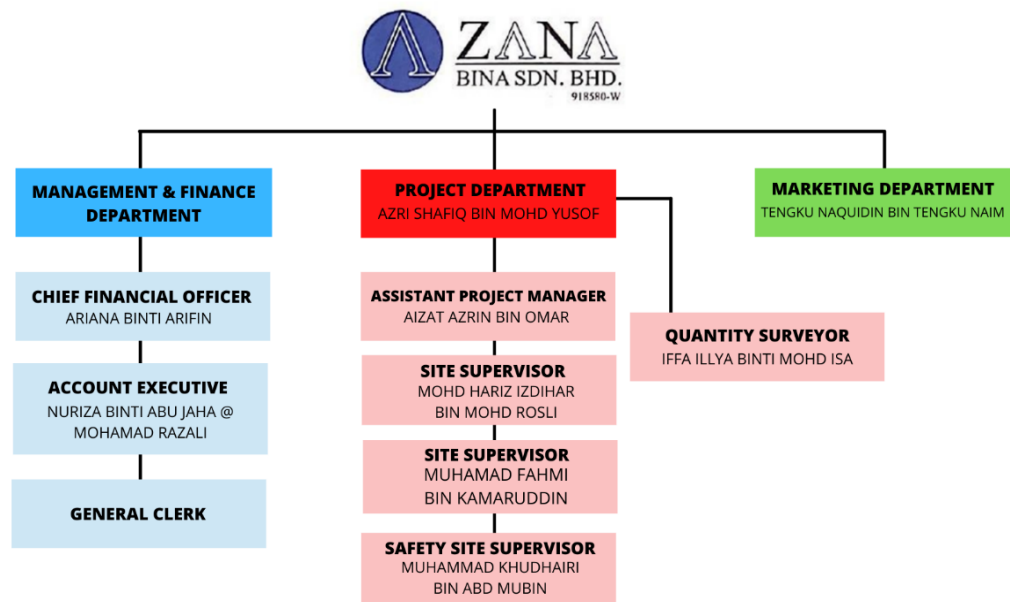


Figure 5: Organization Chart of Zana Bina Sdn Bhd.

Source: Zana Bina Sdn Bhd (2021).

## 2.4 List of Projects

### 2.4.1 Completed Projects

Table 4: List of completed projects.

No	Project Title	Project Value	Start Date	Completion Date	Project Duration	Client
1	Cadangan Meroboh dan Membina Semula Masjid Satu Tingkat Setengah Di Atas Lot 11504, Kawasan Perumahan Mara, 81200, Tampoi, Mukim Tebrau, Johor Bahru, Johor	2.9m	14 December 2017	28 March 2019	15 months	AJK Masjid An-Nur Perumahan Mara
2	Cadangan Ubahan Tambahan Ke Atas Bangunan Sesebuah Sedia Ada Di Atas Lot 238, PTD 102067, Jalan Melor 1, Ledang Heights, Nusajaya, Johor	1.55m	15 July 2014	30 June 2016	24 months	Keith Richard Martin
3	Proposed Show Gallery, Show Units and Other Minor Infrastructure Works for Development of 686 Units Apartment of Phase C2B, East Ledang, Mukim of Pulai, District of Nusajaya, State of Johor Darul Takzim	3.86m	10 September 2013	30 August 2015	24 months	UEM Sunrise Berhad

<b>No</b>	<b>Project Title</b>	<b>Project Value</b>	<b>Start Date</b>	<b>Completion Date</b>	<b>Project Duration</b>	<b>Client</b>
4	Cadangan Membina Sebuah Banglo 2 Tingkat Di Atas Lot 112, Jalan Perindu 1, Ledang Heights, Nusajaya, Johor	1.75m	01 September 2013	24 May 2015	21 months	Mr. Richard Paul Anthony Williams
5	Cadangan Membina Sebuah Banglo 2 Tingkat Di Atas Lot 86, Jalan Persiaran Ledang, Ledang Heights, Nusajaya, Johor	1.92m	02 May 2013	27 March 2015	23 months	Mr. Micheal Raphael Louis
6	Cadangan Mengubahsuai Sebuah Banglo Sedia Ada Di Atas Sebahagian Lot 679, PTD 58601, Leisure Farm, Mukim of Pulai, Daerah Johor Bahru, Johor	1.30m	26 July 2013	27 March 2015	20 months	Mr. Johannes Henricus Dortmans & Tina Dortmans
7	Cadangan Membina Sebuah Banglo 2 Tingkat Di Atas Lot 274, Jalan Melor 2, Ledang Heights, Nusajaya, Johor	1.35m	24 July 2014	25 July 2015	12 months	Mr. Norlan B. Mohamed Tahir
8	Cadangan Ubahan Tambahan Ke Atas Bangunan Sesebuah Sedia Ada Di Atas Lot 153, Jalan Seroja, Ledang Heights, Nusajaya, Johor	0.46m	07 October 2013	10 October 2014	12 months	Cathro Julian Lee & Rashidah Binti Mohamad Ismail
9	Cadangan Ubahan dan Tambahan Sebuah Banglo Di Atas Lot 120, Jalan Perindu 3, Ledang Heights, Nusajaya, Johor	0.29m	01 March 2013	01 July 2014	16 months	Mr. Jonathan Ward & Tina Ward

<b>No</b>	<b>Project Title</b>	<b>Project Value</b>	<b>Start Date</b>	<b>Completion Date</b>	<b>Project Duration</b>	<b>Client</b>
10	Cadangan Membina Sebuah Banglo 2 Tingkat Di Atas Lot 221, Jalan Melor 1, Ledang Heights, Nusajaya, Johor	1.1m	05 October 2012	04 October 2013	12 months	Mr. Ralf David Mattias Schumacher
11	Cadangan Membina Sebuah Banglo Di Atas Lot 12614 No. 6, Jalan Serindit, Larkin Jaya, Johor	0.75m	10 January 2012	24 April 2013	16 months	Puan Rashidah Binti Rafie
12	Cadangan Ubahan dan Tambahan Di Atas Lot 118, Jalan Perindu 1, Ledang Heights, Nusajaya, Johor	0.9m	28 October 2012	15 February 2013	4 months	Mr. Mishra Rajendra Kumar
13	Cadangan Menyiapkan Sebuah Rumah Banglo Di Atas Lot 494 Ledang Heights, Nusajaya, Johor	1.02m	19 September 2011	29 November 2012	15 months	UEM Land Berhad
14	Cadangan Kerja-Kerja Pengubahsuaian Sebuah Banglo Di Atas Lot 465, Jalan Seroja 3, Ledang Heights, Nusajaya, Johor	0.47m	08 May 2012	28 October 2012	6 months	Mr. Sandeep Dhingra
15	Cadangan Kerja-Kerja Pengubahsuaian Sebuah Banglo Di Atas Lot 234, Ledang Heights, Nusajaya, Johor	0.07m	09 April 2012	15 July 2012	3 months	Mr. Mishra Rajendra Kumar
16	Cadangan Kerja-Kerja Pengubahsuaian Sesebuah Banglo, Di Atas Lot 232, Ledang Heights, Nusajaya, Johor	0.78m	03 November 2011	30 June 2012	8 months	Mr. Jonathan Ward and Tina Ward

Source: Zana Bina Sdn Bhd (2021)



Figure 6: Mosque, Tampoi, Johor Bahru, Johor.

Source: Zana Bina Sdn Bhd (2019).



Figure 7: Front elevation bungalow, Jaan Melor 1, Ledang Heights.

Source: Zana Bina Sdn Bhd (2016).



Figure 8: Show gallery, Nusajaya, Johor.

Source: Zana Bina Sdn Bhd (2015).



Figure 9: Two storey bungalow, Jalan Perindu 1, Ledang Heights.

Source: Zana Bina Sdn Bhd (2015).



Figure 10: Two storey bungalow, Jalan Persiaran Ledang, Ledang Heights.

Source: Zana Bina Sdn Bhd (2015).



Figure 11: Front elevation bungalow, Leisure Farm, Pulau.

Source: Zana Bina Sdn Bhd (2015).





Figure 12: Two storey bungalow, Jalan Melor 2, Ledang Heights.

Source: Zana Bina Sdn Bhd (2015).



Figure 13: Side elevation bungalow, Jalan Seroja, Ledang Heights.

Source: Zana Bina Sdn Bhd (2014).



Figure 14: Front elevation bungalow, Jalan Perindu 3, Ledang Heights.

Source: Zana Bina Sdn Bhd (2014).



Figure 15: Two storey bungalow, Jalan Melor 1, Ledang Heights.

Source: Zana Bina Sdn Bhd (2013).



Figure 16: Front elevation bungalow, Jalan Serindit, Larkin Jaya.

Source: Zana Bina Sdn Bhd (2013).



Figure 17: Front elevation bungalow, Jalan Perindu 1, Ledang Heights.

Source: Zana Bina Sdn Bhd (2013).



Figure 18: Side elevation bungalow, Ledang Heights, Nusajaya, Johor.

Source: Zana Bina Sdn Bhd (2012).



Figure 19: Front elevation bungalow, Jalan Seroja 3, Ledang Heights.

Source: Zana Bina Sdn Bhd (2012).



Figure 20: Front elevation bungalow, Ledang Heights, Nusajaya, Johor.

Source: Zana Bina Sdn Bhd (2012).



Figure 21: Front elevation bungalow, Ledang Heights, Nusajaya, Johor.

Source: Zana Bina Sdn Bhd (2012).

## 2.4.2 Project in Progress

Table 5: List of projects in progress.

No	Project Title	Project Value	Start Date	Completion Date	Project Duration	Client
1	Projek Pembinaan Bangunan Tambahan 6 Bilik Darjah Dan Lain-Lain Kemudahan Di Sekolah Kebangsaan Kedaik, Rompin, Pahang	5m	20 August 2019	16 August 2021 (EOT:18 January 2022)	104 weeks	Jabatan Kerja Raya Malaysia (JKR), Daerah Rompin

Source: Zana Bina Sdn Bhd (2021).



Figure 22: Project in progress of Sekolah Kebangsaan Kedaik, Rompin, Pahang.

Source: Zana Bina Sdn Bhd (2019).



Figure 23: 87% completion of Sekolah Kebangsaan Kedaik, Rompin, Pahang.

Source: Zana Bina Sdn Bhd (2021).

## **CHAPTER 3.0**

### **CASE STUDY OF EXTENSION OF TIME**

#### **3.1 Introduction to Case Study**

Based on case study, the name of project that carried out during practical training is ‘Projek Pembinaan Bangunan Tambahan 6 Bilik Darjah Dan Lain-Lain Kemudahan Di Sekolah Kebangsaan Kedaik, Rompin, Pahang’. The total amount of construction of the school is RM5,599,686.00 (Five Million Five Hundred Ninety-Nine Thousand Six Hundred Eighty-Six Only).

Contract period for this project is 104 weeks starting from 20 August 2019 until 16 August 2021. In early stage, retaining wall not included in the construction works in contract document. Due to the addition of retaining wall, Zana Bina Sdn Bhd as the main contractor applied for extension of time from Jabatan Kerja Raya Malaysia (JKR) Daerah Rompin. The new completion date is 18 January 2022.

There are parties involved in construction project. The parties involved in this construction project is Azri Shafiq Bin Mohd Yusof as the director of Zana Bina Sdn Bhd and the main contractor and Jabatan Kerja Raya Malaysia (JKR) Daerah Rompin as a client. Due to Zana Bina Sdn Bhd’s request on extension of time, there are three objectives will be explaining such as to investigate the reason of extension of time, to identify the clauses of extension of time in Contract Document by JKR, and to determine the procedure to apply extension of time.

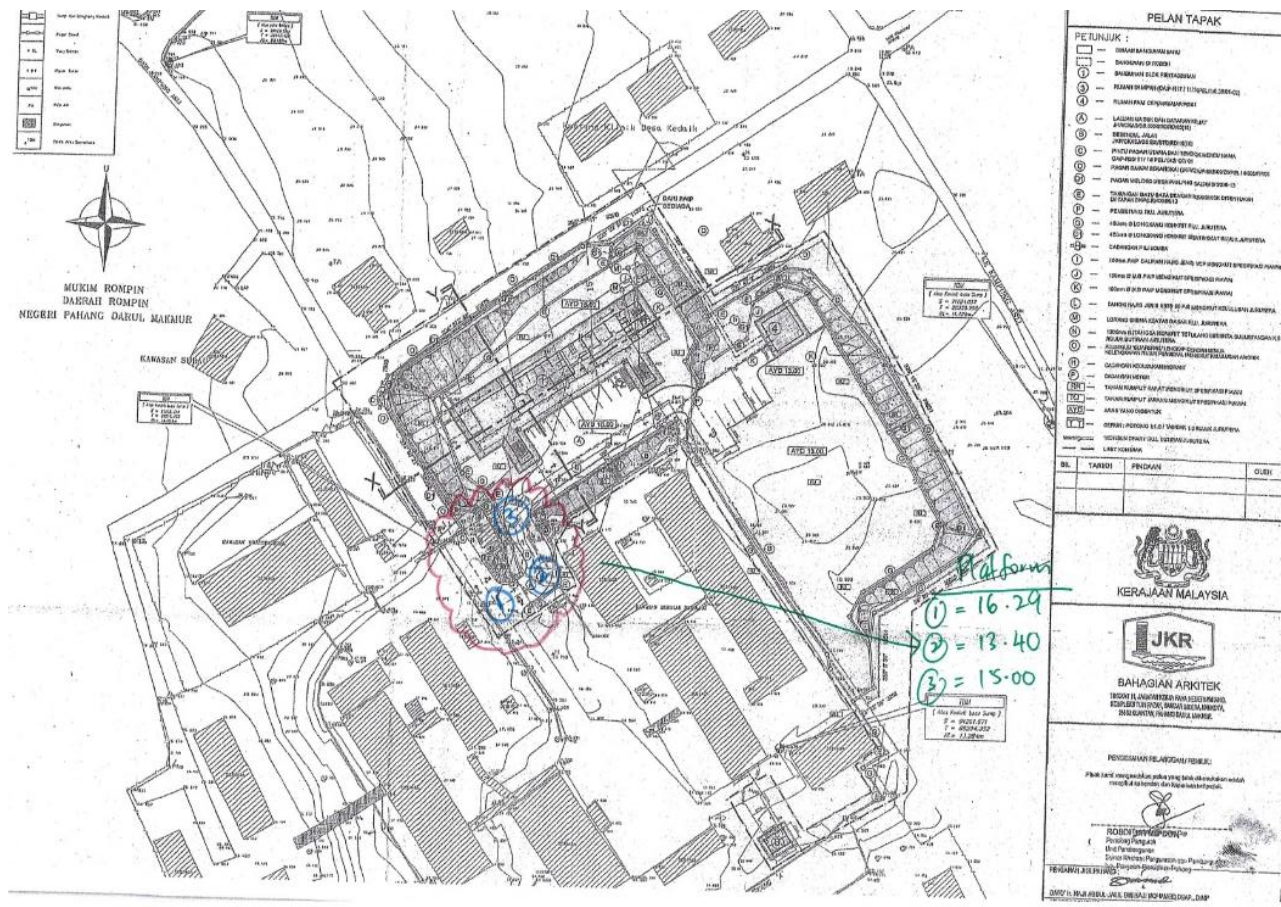


Figure 24: Site Plan of Sekolah Kebangsaan Kedaik, Rompin, Pahang.

Source: Zana Bina Sdn Bhd (2021)



### **3.2 The Reason of Extension of Time**

At the end of 2019, Zana Bina Sdn Bhd as the main contractor for 'Projek Pembinaan Bangunan Tambahan 6 Bilik Darjah Dan Lain-Lain Kemudahan Di Sekolah Kebangsaan Kedaik, Rompin, Pahang' has applied for retaining wall construction from JKR Daerah Rompin. According to the quantity surveyor from Zana Bina Sdn Bhd, retaining wall has been proposed because of the different of ground level position at the entrance bend to the new building. Platform 18.5 descends to 13.6 and ascends back to platform 15.1 resulting in a steep entrance and requiring energy to climb.

As the construction of the retaining wall is not within the scope of contract and is an additional work, JKR Daerah Rompin has requested Zana Bina Sdn Bhd to submit justification, bill of quantities, construction drawing, and breakdown cost involved for reference and approval. In early 2020, Zana Bina Sdn Bhd has submitted the plan proposal such as stability calculation of retaining wall, retaining plan, retaining detail, and retaining schedule for JKR's reference and approval.

However, until middle of 2021, Zana Bina Sdn Bhd has not received decision on the approval for the construction of the retaining wall from JKR Daerah Rompin. Therefore, referring to the clauses in contract document, Zana Bina Sdn Bhd has been eligible to claim an extension of time for the construction project. Although the extension of time was initially due to the addition of retaining wall, the delay of JKR Daerah Rompin also has allowed the old date to be amended to the new date.

### **3.3 The Clauses of Extension of Time in Contract Document by JKR**

#### **3.3.1 Retaining Wall**

Based on the Contract Document by JKR, the clauses that entitle Zana Bina Sdn Bhd to get an extension of time due to retaining wall are clause 43.1 (e), clause 5.1 (a) dan clause 24.2 (a).

**Clause 43.1 (e):** S.O.'s instructions issued under clause 5 hereof, PROVIDED THAT such instructions are not issued due to any act, negligence, default or breach of this Contract by the Contractor or any sub-contractor, nominated or otherwise.

**Clause 5.1:** The S.O. may from time to time issue further drawings, details and/or written instructions (all of which are hereafter collectively referred to as S.O.'s instructions) in regard to

**(a):** the Variation as referred to in clause 24 hereof.

**Clause 24.2:** The term 'Variation' means a change in the Contract Document which necessitates the alteration or modification of the design, quality or quantity of the Works as described by or referred to therein and affects the Contract Sum, including:

**(a):** the addition, omission or substitution of any work.

### **3.3.2 Delay of JKR Daerah Rompin**

Meanwhile, the clause that entitles Zana Bina Sdn Bhd to get an extension of time due to delay of JKR Daerah Rompin is clause 43.1 (f).

**Clause 43.1 (f):** the Contractor not having received in due time instructions in regard to the nomination of sub-contractors and/or suppliers provided in this Contract, necessary instructions, drawings or levels for the execution of the Works from the S.O. due to any negligence or default of the S.O. PROVIDED THAT the Contractor shall have specifically applied in writing on a date which having regard to the Date for Completion stated in Appendix or to any extension of time then fixed under this clause, was neither unreasonably distant from nor unreasonably close to the date on which it was necessary for him to receive the same.

### **3.4 The Procedure to Apply Extension of Time**

#### **3.4.1 In General**

The responsibility to apply for extension of time is the responsibility of the contractor where the contractor must give written notice to the authority as soon as the delay occurs. In the notice, the contractor must state the reason of delay which entitles them to extension of time. For this project, Zana Bina Sdn Bhd has given a letter to JKR Daerah Rompin informing the reasons to apply the extension of time. The first reason is about the addition of retaining wall at the school entrance. The second reason is about the delay of JKR Daerah Rompin giving feedback regarding the addition of retaining wall.

After the authority receives the written notice from the contractor, they must assess whether the reason given included in one of the reasons stated in clause 43 (a) until (k). If the reasons are outside clause 43 (a) until (k), the authority must inform the contractor that the reasons given are not acceptable and reject the application. However, if the reasons given are included in clause 43 (a) until (k), the authority should examine whether the incident will cause the overall delay to the project. Zana Bina Sdn Bhd has applied for an extension of time under the clause 43.1 (e), clause 5.1 (a), clause 24.2 (a) for the variation of retaining wall and clause 43.1 (f) for the delay of JKR Daerah Rompin.

Moreover, if the incident or the factor given by contractor did not cause an overall delay to the project, then no extension of time will be granted. However, if the incident or the factor concerned cause overall delay to the project, the authority should make further assessment of the application. In Zana Bina Sdn Bhd's situation, documents such as stability calculation of retaining wall, retaining plan, retaining detail, and retaining schedule were provided to JKR Daerah Rompin early. Even the documents provided early, the delay of JKR Daerah Rompin in giving decision has allowed Zana Bina Sdn Bhd to get extension of time.

Next, the authority must evaluate all the factors causing the delay thoroughly and determine the number of days the extension of time should be given fairly and reasonably. Once the number of days the extension of time determined, the authority approves the extension of time in writing in the form of a Certificate of Delay and Extension of Time. Zana Bina Sdn Bhd has explained the timeframe for completing the work on the construction site. Therefore, Zana Bina Sdn Bhd has applied for 60 days extension of time for the construction of retaining wall at the construction site. After selecting the suitable retaining wall and making a thorough assessment, JKR Daerah Rompin approved the extension of time applied by Zana Bina Sdn Bhd.

### 3.4.2 In Correspondence



Our Ref : ZBSB/SKRR/ADMIN/19/0197

Date : 05 November 2019

**JKR DAERAH ROMPIN**

Jabatan Kerja Raya Rompin,  
26800 Kuala Rompin,  
Pahang Darul Makmur

**Attn : Mr Irwan Bin Bakron,  
Jurutera Bangunan**

Dear Sir,

**TENDER SEMULA PEMBINAAN BANGUNAN TAMBAHAN 6BD DAN LAIN-LAIN KEMUDAHAN DI SK  
KEDAIK, ROMPIN, PAHANG DARUL MAKMUR.**

**-Request for Information : Retaining Wall Design Drawing**

Refer to the above matter, we would like to request for the construction drawing as soon as possible because it will distract our earth work planning and execution.

Your prompt and early action is much appreciated.

Your faithfully  
**ZANA BINA SDN BHD**

**AZRI SHAFIQ BIN MOHD YUSOF**  
Project Director

Corporate Office: No. 152B Jalan Sentral 1, Taman Nusa Sentral, 79100 Iskandar Puteri, Johor. Tel: 07-5950 677 Fax: 07-5950 767  
Branch: No. 7 Taman Nilam, Jalan Endau, 86800 Mersing, Johor. Tel: 07-799 1177 Email: zbsb2010@gmail.com

Figure 25: Zana Bina Sdn Bhd requests for information regarding retaining wall from JKR Daerah Rompin.

Source: Zana Bina Sdn Bhd (2021)

TENDER SEMULA PEMBINAAN BANGUNAN TAMBAHAN 6BD DAN LAIN-LAIN KEMUDAHAN DI SK KEDAIK, ROMPIN, PAHANG DARUL MAKMUR.

ZANA BINA SDN BHD  
REQUEST FOR INFORMATION FORM

To : JKR	From : ZBSB	RFI/JKR/004
Subject : Retaining Wall Design Drawing	Dept : Project	Date : 5 November 2019
	Location : No. 152B, Jalan Sentral 1, Taman Nusa Sentral, 79100, Iskandar Puteri.	
<p>Question :</p> <p>Refer to attachment, there will be 3 level for the highlighted road area.</p> <p>1. 16.29</p> <p>2. 13.40</p> <p>3. 15.00</p> <p>Could you provide us retaining wall design since it been decided on last technical meeting it is the best to construct on 2 level platform only.</p>		
Initiator :	PD : Azri Shafiq Bin Mohd Yusof	Answer Required By : Max 10 days
<p>ANSWER :</p> <p>Consultant Signature : _____ Date : _____</p>		
Distribution		
Copy		
Action		
Answer Dist.		

Figure 26: The details regarding the level of the ground at construction site from Zana Bina Sdn Bhd.

Source: Zana Bina Sdn Bhd (2021)



**PEJABAT JURUTERA DAERAH**  
 Jabatan Kerja Raya Daerah Rompin,  
 26800 Kuala Rompin,  
**PAHANG DARUL MAKMUR.**

Tel. : 09-414 5040  
 Faks : 09-414 7184  
 E-mel : rompin.jkr@1govuc.gov.my



Ruj. kami: (46) dlm.JKR.ROM:B/18/9/444  
 Tarikh : 12 November 2019

**Zana Bina Sdn. Bhd.**  
 No. 1528, Jalan Sentral 1,  
 Taman Nusa Sentral,  
 79100 Iskandar Puteri,  
 Johor Baharu.

Tuan,

**NO. KONTRAK : F/PHG/R/DK/111/2019**  
**PROJEK : TENDER SEMULA PEMBINAAN BANGUNAN TAMBAHAN 6 BD**  
**DAN LAIN-LAIN KEMUDAHAN DI SK. KEDAIK, ROMPIN,**  
**PAHANG DARUL MAKMUR**  
**PERKARA : RFI Cadangan Rekabentuk 'Retaining Wall'**

Dengan segala hormatnya surat tuan bertarikh 5 November 2019, rujukan tuan RFI/JKR/004 berkenaan perkara di atas adalah dirujuk.

2. Memandangkan pembinaan 'Retaining wall' ini tidak terdapat di dalam skop kontrak dan ini adalah merupakan kerja-kerja tambahan, pihak tuan diminta mengemukakan justifikasi, senarai kuantiti, lukisan pembinaan dan juga pecahan kos yang terlibat. Permohonan untuk kerja tambahan ini perlu diangkat terlebih dahulu untuk kelulusan.
3. Sehubungan dengan itu pihak tuan diminta mengambil maklum tentang perkara berkenaan bagi melancarkan perjalanan projek ini.
4. Pihak JKR Daerah Rompin mengucapkan ribuan terima kasih di atas kerjasama yang diberikan oleh pihak tuan.

Sekian terima kasih.

**"BERKHIDMAT UNTUK NEGARA"**

Saya yang menjalankan amanah,

  
**(MOHD HERZI BIN CHE HUSSIN)**  
 Jurutera Daerah  
 Jabatan Kerja Raya Daerah Rompin.  
 IRWAN/RHM/SK Kedai/12/11/19

(Sila sebutkan nombor pejabat ini apabila menjawab)



Figure 27: JKR Daerah Rompin requests for information regarding retaining wall design proposal from Zana Bina Sdn Bhd.

Source: Zana Bina Sdn Bhd (2021)



Ruj. Kami : ZBSB/JKR/ADMIN/20/0052  
Tarikh : 10 Mac 2020

**JKR DAERAH ROMPIN**  
Jabatan Kerja Raya Rompin,  
26800 Kuala Rompin,  
Pahang Darul Makmur

**U/p: Encik Irwan Bin Bakron**  
Jurutera Awam (Bangunan)

Tuan,

**TENDER SEMULA PEMBINAAN BANGUNAN TAMBAHAN 6BD DAN LAIN-LAIN KEMUDAHAN DI SK KEDAIK, ROMPIN, PAHANG DARUL MAKMUR**  
- Cadangan Pembinaan 'Retaining Wall'

Merujuk kepada surat tuan dengan rujukan (46)dlm.JKR.ROM:B/18/9/444, pihak kami menyertakan cadangan pelan 'Retaining Wall' untuk rujukan dan kelulusan pihak tuan.

2. Cadangan pembinaan 'Retaining Wall' dicadangkan atas sebab kedudukan aras tanah yang berbeza disekitar selekoh jalan masuk ke blok bangunan baru iaitu platform 18.5 turun kepada 13.6 dan naik semula ke platform 15.1 menyebabkan jalan masuk yang curam dan selepas itu memerlukan mendaki pula.

3. Di harapkan cadangan kami dapat dipertimbangkan dalam masa terdekat kerana kerja-kerja tanah (earthwork) akan terganggu dan kami bergantung kepada keputusan cadangan ini.

Sekian. Terima Kasih.

Yang Benar,  
ZANA BINA SDN BHD

**AZRI SHAFIC BIN MOHD YUSOF**  
Pengarah

Figure 28: Zana Bina Sdn Bhd proposes to build retaining wall by stating the reasons.

Source: Zana Bina Sdn Bhd (2021)

STABILITY CALCULATION OF RETAINING WALL AT SEK ROMPIN

Density of soil	18000 N/m <sup>3</sup>
Wall height	2 m
Depth of base below grd	0.6 m
Total height of retaining wall	2.6 m
Surcharge angle	0 degree
Angle of repose soil	30 degree
Coefficient of friction	0.5
Base thickness	0.3 m
Width of wall at top	200 mm
Width of wall at base	200 mm

Assume toe is 1/3rd of base width, i.e k = 1/3	
Therefore base width, B	1.30 m
Adopt, B	1.3 m
Therefore toe width (W)	0.43 m

DESIGN OF STEM

Consider 1 length of wall

Pressure at base of stem	41400 N/m <sup>2</sup>	=	41.40 kN/m <sup>2</sup>
Max B.M	12167.00 Nm		
Effective depth	118.26 mm		
Adopt overall depth	200 mm		
effective depth	150 mm		
stem thickness at top	200 mm		
Area of steel req.	665.96 mm <sup>2</sup>		

CURTAILMENT OF REINFORCEMENT

B.M at h meters from top	1000000.00 h <sup>2</sup> N-mm
Thickness of stem at depth h	160.00 h mm
Therefore at h	1 m
A <sub>s</sub>	51.31 mm <sup>2</sup>

DISTRIBUTION STEEL

Base on average thickness	300 mm <sup>2</sup>
---------------------------	---------------------

PRESSURE DISTRIBUTION ON BASE

Height of surcharge	0.00 m
Total height	2.60 m
P	20280.00 N

	Force/meter length	Distance of C.G from toe
P <sub>11</sub>	= 20280.00 N	0.87 m
P <sub>v</sub>	= 0.00 N	1.30 m
W <sub>1</sub>	= 11040.00 N	0.57 m
W <sub>2</sub>	= 0.00 N	0.43 m
W <sub>3</sub>	= 9360.00 N	0.65 m
W <sub>4</sub>	= 27600.00 N	0.97 m
W <sub>5</sub>	= 0.00 N	1.08 m

Taking moments about end of toe

Eccentricity	0.20 m
--------------	--------



Figure 29: Page 1 of stability calculation of retaining wall.

Source: Zana Bina Sdn Bhd (2021)

Pressure distribution at base given by		
$P_{max}$		71559.76 N/m <sup>2</sup>
$P_{min}$		2286.39 N/m <sup>2</sup>
Pressure at junction of stem with toe		48468.64 N/m <sup>2</sup>
Pressure at junction of stem with heel		37811.20 N/m <sup>2</sup>
Self load base slab/meter		4800.00 N
Load of earth on heel at the end		41400.00 N/m
Load of earth on heel at junction of heel with stem		41400.00 N/m
<b>DESIGN OF TOE</b>		
Max B.M		5545333.3 N-mm
Effective depth		79.84 mm
Therefore provide overall depth		300 mm
effective depth		230 mm
Area of steel required		197.95 mm <sup>2</sup>
Distribution of steel		450 mm <sup>2</sup>
<b>CHECK FOR BOND AND SHEAR</b>		
Max shear force		23926.15 N
Max shear stress		0.10 N/mm <sup>2</sup> must < 0.8SQRT( $f_{cu}$ ) or 5N/mm <sup>2</sup> which less
<b>DESIGN OF HEEL</b>		
Max B.M		7127112.7 N-mm
Effective depth		90.51 mm
Therefore provide depth		300 mm
Area steel required		646.50 mm <sup>2</sup>
<b>CHECK FOR SLIDING</b>		
Frictional resistance		31200.00 N
Earth pressure		20280.00 N
Safety factor		1.54
Note : If safety factor < 2.0 provide key		
<b>DESIGN OF KEY</b>		
Width of key		0.2 m
Depth of key		0.45 m
There will be also passive earth in front of the wall		
Total weight		59070.00 N
Active earth pressure		27907.50 N
Passive pressure		15187.50 N
Net horizontal force		12720.00 N
Safety factor		2.79
<b>CHECK SHEAR ON KEY</b>		
Max shear		17850.00 N
Max shear stress		0.09 N/mm <sup>2</sup> must < 0.8SQRT( $f_{cu}$ ) or 5N/mm <sup>2</sup> which less



Figure 30: Page 2 of stability calculation of retaining wall.

Source: Zana Bina Sdn Bhd (2021)



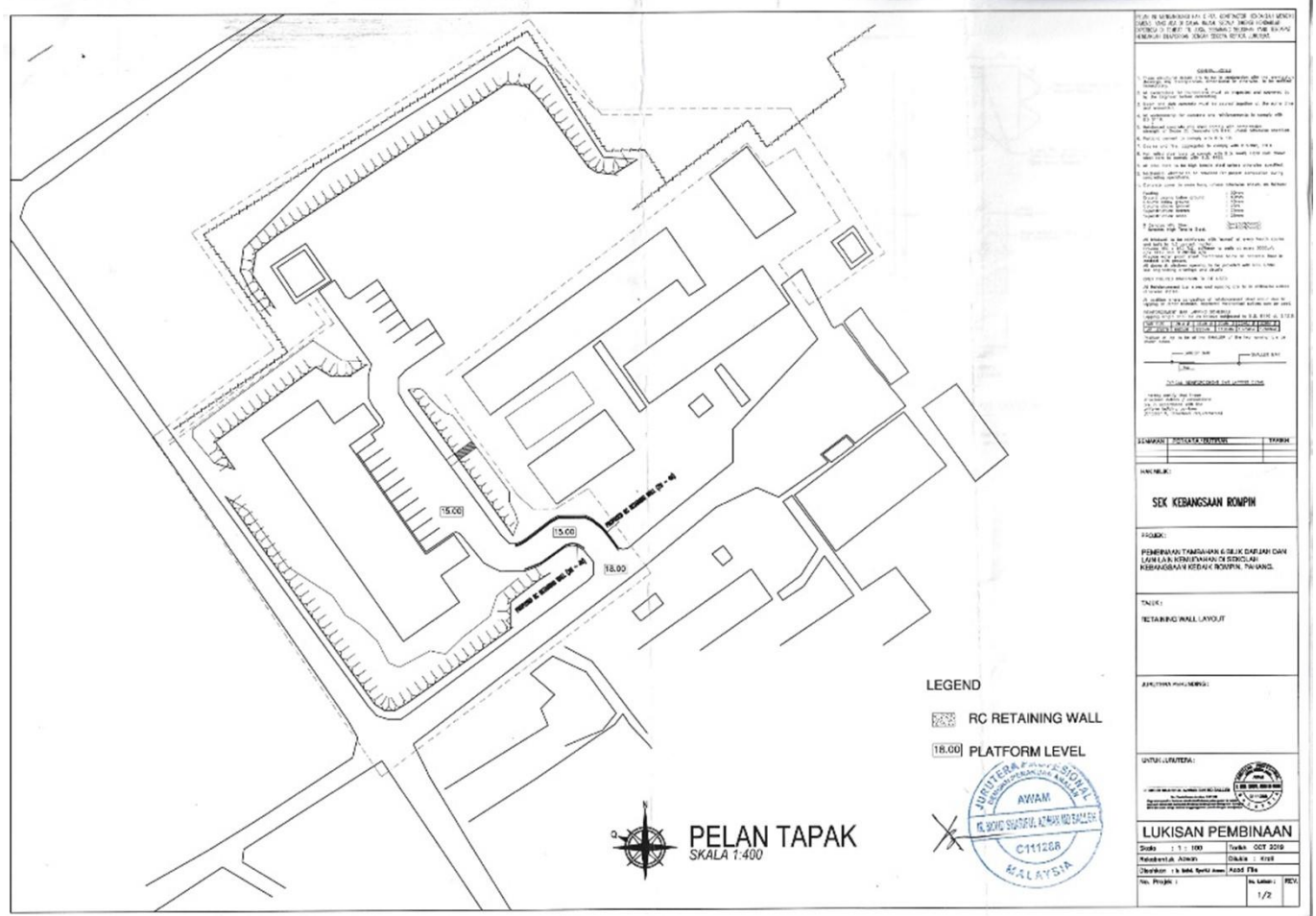


Figure 32: Retaining wall plan.

Source: Zana Bina Sdn Bhd (2021)

Our Ref : ZBSB/SKRR/JKR/ADMIN/21/0055  
Date : 1<sup>st</sup> March 2021

**JKR DAERAH ROMPIN**  
Jabatan Kerja Raya Rompin,  
26800 Kuala Rompin,  
Pahang Darul Makmur

Attn : Mr Irwan Bin Bakron,  
Jurutera Bangunan

Dear Sir,  
**TENDER SEMULA PEMBINAAN BANGUNAN TAMBAHAN 6BD DAN LAIN-LAIN KEMUDAHAN DI SK KEDAIK,  
ROMPIN, PAHANG DARUL MAKMUR.**  
*- Request for Information No. 38; Proposal No. 2 - Retaining Wall*

Refer to the above matter, we enclosed herewith Request for Information No.38 for your consideration and decision.

Your prompt and early reply is much appreciated.

Thank You.

Your faithfully  
ZANA BINA SDN BHD

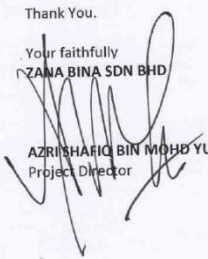
  
AZRI SHAFIQ BIN MOHD YUSOF  
Project Director

Figure 33: Zana Bina Sdn Bhd requests for information regarding proposal for retaining wall from JKR Daerah Rompin.

Source: Zana Bina Sdn Bhd (2021)

TENDER SEMULA PEMBINAAN BANGUNAN TAMBAHAN 6BD DAN LAIN-LAIN KEMUDAHAN DI SK KEDAIK, ROMPIN, PAHANG DARUL MAKMUR.

ZANA BINA SDN BHD  
REQUEST FOR INFORMATION FORM

To : JKR	From : ZBSB	RFI/JKR/038																																												
Subject : Proposal 2 for Retaining Wall	Dept : Project	Date : 1 <sup>st</sup> March 2021																																												
	Location : No. 152B, Jalan Sentral 1, Taman Nusa Sentral, 79100, Iskandar Puteri, Johor.																																													
<p><b>Question/Issue :</b></p> <p>Attached herewith Proposal 2 for Retaining Wall.</p> <p><u>Scope:</u> To construct and complete the retaining wall (approximately: 70m length) including to demolish and rebuilt guard house and other necessary work to complete the works.</p> <p><u>Additional Cost:</u> Estimated Cost (inc. preliminaries &amp; contingencies sum) : RM150,000.00</p>																																														
Initiator : Iffa Ilyia Binti Mohd Isa	PD : Azri Shafiq Bin Mohd Yusof	Answer Required By : ASAP																																												
<p><b>ANSWER :</b></p> <p>Consultant Signature : _____ Date : _____</p> <table border="1"> <tr> <td>Distribution</td> <td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td> </tr> <tr> <td>Copy</td> <td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td> </tr> <tr> <td>Action</td> <td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td> </tr> <tr> <td>Answer Dist.</td> <td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td> </tr> </table>			Distribution											Copy											Action											Answer Dist.										
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Figure 34: Zana Bina Sdn Bhd proposes to build retaining wall with demolish and rebuilt guard house.

Source: Zana Bina Sdn Bhd (2021)





Ref. No. : ZBSB/SKKR/JKR/ADMIN/21/0175  
Date : 15<sup>th</sup> June 2021

**JKR DAERAH ROMPIN**  
Jabatan Kerja Raya Rompin,  
26800 Kuala Rompin,  
Pahang Darul Makmur

Atn. : **ENCIK HERZI BIN CHE HUSSIN**  
Jurutera Daerah, JKR Rompin

Tuan,  
**TENDER SEMULA PEMBINAAN BANGUNAN TAMBAHAN 6BD DAN LAIN-LAIN KEMUDAHAN DI SK KEDAIK, ROMPIN, PAHANG DARUL MAKMUR**  
- Permohonan Lanjutan Masa: Pembinaan 'Retaining Wall'

Dengan segala hormatnya merujuk kepada perkara diatas.

- Sukacitanya dimaklumkan, bahawa kami diarahkan untuk melaksanakan kerja-kerja pembinaan 'Retaining Wall' seperti yang dinyatakan didalam surat tuan Ruj.: JKR.ROM:B/18/9/444Jld.3(7) bertarikh 20hb. Mei 2021.
- Oleh demikian, dengan merujuk Sub-Klausa 43.1(e), 5.1(a) dan 24.2(a) Syarat-Syarat Kontrak, kami dengan ini ingin memohon lanjutan masa selama **60 hari** untuk menyiapkan dan menyempurnakan kerja-kerja tambahan di bawah kontrak ini.

Bil.	Keterangan	Masa Dipohon	Status
1.	Kerja-kerja Pembinaan 'Retaining Wall' (Klausa 43.1(e))	60 Hari (Rujuk Lampiran 1/A)	Belum dibina

- Sehubungan dengan itu, kerjasama pihak tuan dalam mempertimbangkan permohonan ini amatlah dihargai.

Sekian. Terima Kasih.

Yang Benar,  
**ZANA BINA SDN BHD**


  
**AZRI SHAFIQ BIN MOHD YUSOF**  
Pengerah

Figure 36: Zana Bina Sdn Bhd applies for an extension of time for retaining wall based on clause 43.1 (e).

Source: Zana Bina Sdn Bhd (2021)

Ruj. Kami : ZBSB/SKRR/JKR/ADMIN/21/0159  
Tarikh : 19hb. Mei 2021



**JKR DAERAH ROMPIN**  
Jabatan Kerja Raya Rompin,  
26800 Kuala Rompin,  
Pahang Darul Makmur

**U/p: Encik Irwan Bin Bakron,**  
**Jurutera Awam**

Tuan,

**TENDER SEMULA PEMBINAAN BANGUNAN TAMBAHAN 6BD DAN LAIN-LAIN KEMUDAHAN DI SK KEDAIK, ROMPIN, PAHANG DARUL MAKMUR**  
**- Peringatan: Cadangan Pembinaan 'Retaining Wall'**

Merujuk kepada perkara diatas dan surat rujukan kami ZBSB/JKR/ADMIN/20/0052 bertarikh 10hb. Mac 2020 dan surat pihak tuan(46)d/m.JKR.ROM:B/18/9/444 bertarikh 12hb. November 2019.

2. Sehingga kini pihak kami belum dapat keputusan berkenaan perkara diatas. Dengan itu, pihak kami memohon agar keputusan atau arahan berkenaan perkara ini dapat dibuat dalam kadar segera. Hal ini kerana kerja-kerja berkaitan akan terganggu dan pihak kami juga memerlukan masa untuk bertindak selepas keputusan dibuat. Di bawah kami ingin menerangkan kerja-kerja yang kami perlu lakukan selepas keputusan dibuat.

**i. Retaining Wall**

- |  |   |          |
|--|---|----------|
| a. Design stage                              | - | 2 minggu |
| b. Permohonan kelulusan pihak JKR            | - | 1 minggu |
| c. Mobilisasi dan penghantaran barang binaan | - | 2 minggu |

**ii. Sistem Saliran Longkang (Drainage)**

Berdasarkan arahan diberi (rujuk surat tuan (45)d/m.JKR.ROM:B/18/9/44), pihak kami memerlukan 1 minggu selepas pelan 'retaining wall' diluluskan.

**iii. Sistem Retikulasi Air Luaran**

Pelan ini juga memerlukan 1 minggu untuk disediakan selepas kelulusan pelan 'retaining wall'.

3. Dengan ini, merujuk kepada Klausula 44 dan 43.1 (f) Syarat – Syarat Kontrak, pihak kami layak menuntut lanjutan masa dan kos tambahan untuk kerugian dan/atau perbelanjaan sekiranya berlaku kelewatan dari pihak tuan. Oleh itu, tuan diingatkan untuk memberi maklumbalas dengan kadar segera bagi mengelakkan sebarang pertambahan kos dan kelewatan bagi projek ini.

Kerjasama pihak tuan amat kami hargai. Sekian. Terima Kasih.

Yang Benar,  
**ZANA BINA SDN BHD**

**AZRI SHAFIQ BIN MOHD YUSOF**  
Pegawai

Corporate Office: No. 152B Jalan Sentral 1, Taman Nusa Sentral, 79100 Iskandar Puteri, Johor.  
Tel: 07-5950 677 Fax: 07-5950 767 Email: zbsb2010@gmail.com

Figure 37: Zana Bina Sdn Bhd applies for an extension of time due to the delay of JKR Daerah Rompin based on clause 43.1 (f).

Source: Zana Bina Sdn Bhd (2021)



PEJABAT JURUTERA DAERAH  
Jabatan Kerja Raya Daerah Rompin,  
26800 Kuala Rompin,  
PAHANG DARUL MAKMUR.

Tel. : 09-414 5040  
Faks : 09-414 7184  
E-mel : rompin.jkr@1govuc.gov.my



#MajuTerusPahang #Pahang1st

Ruj. Kami :JKR.ROM: B / 18/9/444Jld.3 (1)  
Tarikh : 20 hb. Mei 2021

Zana Bina Sdn. Bhd.  
No.1528, Jalan Sentral 1,  
Taman Nusa Sentral,  
79100 Iskandar Puteri  
Johor Baharu

Tuan

**PROJEK :TENDER SEMULA PEMBINAAN BANGUNANTAMBAHAN 6BD  
DAN LAIN-LAIN KEMUDAHAN DI SK KEDAIK, ROMPIN,  
PAHANG DARUL MAKMUR**

**PERKARA: MOHON PANDANGAN DAN KELULUSAN CADANGAN  
PEMBINAAN 'RETAINING WALL'**

Dengan segala hormatnya merujuk kepada perkara tersebut di atas dan surat  
tuan no.rujukan ZBSB/SKKR/JKR/ADMIN/21/0159 bertarikh 19 Mei 2021 adalah  
dirujuk.

2. Sukacitanya dimaklumkan, bersama-sama ini disertakan salinan surat  
PKR.PHG.E/76/20/01/744Jld.1(89) bertarikh 11 Mei 2021 serta lawatan tapak  
yang telah diadakan pada 3 Mei 2021 berhubung perkara di atas adalah dirujuk.

3. Sehubungan dengan itu, pihak HOPT – Bahagian Pendidikan, JKR  
Pahang telah membuat keputusan seperti berikut :-

i) **Cadangan Pertama (1)** : Pembinaan 'retaining wall' disebelah kiri  
dan kanan jalan masuk atas faktor keselamatan bagi  
menguatkan cerun adalah praktikal untuk dilaksanakan.

4. Justeru itu, pihak tuan adalah dengan ini diarah untuk melaksanakan  
kerja-kerja pembinaan 'retaining wall' tersebut dengan kadar segera. Pihak tuan  
juga diminta untuk mengemukakan senarai kuantiti, lukisan pembinaan dan juga  
pecahan kos yang terlibat untuk diangkat ke Jawatankuasa Perubahan Kerja  
untuk Kelulusan Arahan Perubahan Kerja (APK).

5. Kerjasama pihak tuan bagi melancarkan perjalanan projek ini amatlah  
dihargai.

(Sila sebutkan nombor pejabat ini apabila menjawab)



Figure 38: JKR Daerah Rompin approves the retaining wall construction proposal with extension of time.

Source: Zana Bina Sdn Bhd (2021)



JABATAN KERJA RAYA NEGERI PAHANG  
Tingkat 9-12, Kompleks Tun Razak  
Bandar Indera Mahkota  
25582 Kuantan  
PAHANG



Tel : 09 5717000  
Faks : 09 5732837  
Portal Rasmi : <http://jkr.pahang.gov.my>

#MajuTerusPahang

#Pahang1<sup>st</sup>

Ruj. Kami : PKR.PHG.E/76/20 (1744 Jld1(39))  
Tarikh : 29 Mei 2021  
Ramadhan 1442H

Pejabat Jurutera Daerah  
Jabatan Kerja Raya Daerah Rompin,  
26800 Kuala Rompin,  
Pahang darul Makmur.  
(u.p : Mohd Herzi Bin Che Hussin)

Tuan,

PROJEK : TENDER SEMULA PEMBINAAN BANGUNAN TAMBAHAN 6BD DAN  
LAIN-LAIN KEMUDAHAN DI SK KEDAIK, ROMPIN, PAHANG.

Perkara : Mohon Pandangan dan Kelulusan Cadangan Pembinaan 'Retaining  
Wall'

Adalah saya dengan segala hormatnya merujuk kepada perkara di atas dan surat tuan bertarih 21 April 2021 berujukan JKR.ROM:B/18/9/444 Jld3(51) adalah berkaitan.

2. Hasil perbincangan bersama lanjutan daripada sesi lawatan tapak pihak JKR Daerah Rompin dan wakil dari pihak kontraktor yang telah diadakan pada 3 Mei 2021, mendapati **cadangan pertama (1)** yang dikemukakan oleh pihak kontraktor bagi pembinaan 'retaining wall' di sebelah kiri dan kanan jalan masuk atas faktor keselamatan bagi mengukuhkan cerun adalah praktikal untuk dilaksanakan.

3. Pihak kami **tiada halangan** dengan cadangan yang telah dikemukakan. Pihak tuan perlu memastikan perbelanjaan ini akan **menggunakan baki peruntukan sediaada dan baki mencukupi** bagi melaksanakan kerja tambahan ini. Sehubungan dengan itu, dimohon pihak tuan menyediakan permohonan untuk diangkat ke Jawatankuasa Perubahan Kerja untuk kelulusan Arahan Perubahan Kerja (APK).



Figure 39: JKR Daerah Rompin allows Zana Bina Sdn Bhd to build retaining wall with the existing allocation.

Source: Zana Bina Sdn Bhd (2021)

## **CHAPTER 4.0**

### **CONCLUSION**

The conclusion of this report is about extension of time for the project of Sekolah Kebangsaan Kedaik, Rompin, Pahang Darul Makmur. The objective of this report is to investigate the reason of extension of time for the project of Sekolah Kebangsaan Kedaik, Rompin. Although the extension of time due to the addition of retaining wall, the studies have found that the delay of JKR Daerah Rompin has allowed the old date to be amended to the new date. Moreover, the objective of this report is to identify the clauses of extension of time in contract document for the addition of retaining wall and the delay of JKR Daerah Rompin. From the contract document, found out that clause 43.1 (e), clause 5.1 (a) and clause 24.2 (a) for the addition of retaining wall. Meanwhile, clause 43.1 (f) for the delay of JKR Daerah Rompin. Furthermore, the objective of this report is to determine the procedure to apply extension of time. Through observation, interview, and document reviews, it can be seen clearly the procedure to apply extension of time and what the clauses should be used based on the reason that occurs in the completion of project.

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